

**REPORT SUMMARY**

<b>REFERENCE NO:</b> 20/505350/FULL		
<b>APPLICATION PROPOSAL:</b> Redevelopment of existing garden centre / nursery to provide 18 dwellings, including 7 affordable houses, with associated landscaping, flood storage measures, access and parking.		
<b>ADDRESS:</b> Warmlake Nursery, North Street, Sutton Valence, ME17 3LW		
<b>RECOMMENDATION:</b> Grant planning permission subject to the conditions and s106 heads of terms listed below.		
<b>SUMMARY OF REASONS FOR RECOMMENDATION:</b>		
<p>This application was deferred at the April Planning Committee meeting for the following reasons, namely to:</p> <ul style="list-style-type: none"> <li>• re-examine the quantum of open space provided, if necessary re-examining the density or configuration of development,</li> <li>• re-examine the landscaping scheme to include species, composition, a Landscape and Ecological Management Plan setting parameters for the long-term maintenance of the vegetation, wet SUDS, and an enhanced landscaped buffer to the site frontage to soften the gateway to Sutton Valence,</li> <li>• reconsider the level of renewables to be provided within the scheme with a view to achieving a 20% target,</li> <li>• explore with KCC Highways and the applicant the opportunities to improve pedestrian crossings within the vicinity of the site and Warmlake crossroads,</li> <li>• consider whether local needs affordable housing can be provided.</li> </ul>		
<b>SUMMARY OF REASONS FOR RECOMMENDATION:</b>		
<p>The development of this brownfield site accords with relevant Local Plan policies relating to brownfield development in the countryside.</p> <p>The site is bounded on two sides by existing built development and is in effect an infill site that will not extend beyond existing built boundaries and does not harm the character or appearance of the adjacent countryside.</p> <p>A range of house styles is proposed incorporating the use of local typologies and materials.</p> <p>The layout of the site as a whole and the individual plots will provide a good quality of amenity for future residents, whilst the layout has also been designed to protect the amenity of adjacent residents.</p> <p>The scheme has been amended to improve the level of open space available for both amenity and landscape/ecology purposes. In particular the proposed landscaping has been further enhanced following the appointment of a local landscape architect.</p> <p>There are no transport, environmental or other technical objections.</p>		
<b>WARD</b> Sutton Valence and Langley	<b>PARISH/TOWN COUNCIL</b> Sutton Valence	<b>APPLICANT</b> Millwood Designer Homes
<b>DECISION DUE DATE</b> 15/06/21	<b>PUBLICITY EXPIRY DATE:</b> 24/12/20	<b>OFFICER SITE VISIT DATE:</b> 03/12/20 & 13/05/21

## **MAIN REPORT**

### **1 Background**

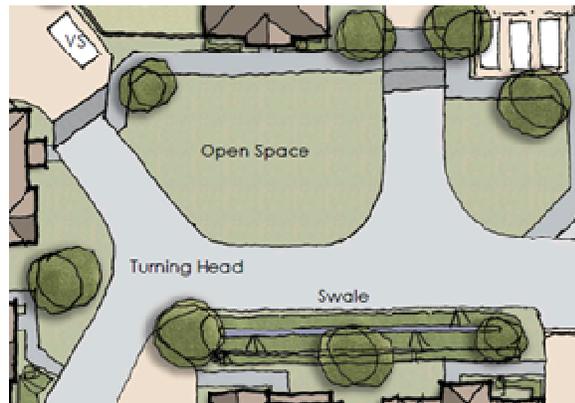
- 1.01 This report should be read in conjunction with the original April Committee Report, which is attached at Appendix 1.
- 1.02 Following deferral of the Application at the April Committee Meeting, the Applicant has responded to Members concerns with the following amendments / additional information:
- a reduction in the plot sizes for Units 1 and 2, allowing Unit 1 to be moved further away from the front boundary to North Street,
  - the rear boundaries of plots 12-18 have been moved further away from the front boundary to allow an enhanced landscape buffer zone to the main frontage,
  - submission of a Landscape Masterplan and planting / management schedule,
  - an increased area of central green amenity space,
  - the installation of PV panels on each building in a manner that does not detract from the street scene, and
  - details of built fabric habitat.
- 1.03 To reflect minor changes to the layout, the following documents have also been updated:
- tree protection plan
  - drainage strategy
  - levels strategy
- 1.04 The Applicant's responses are considered in further detail below. Whilst extracts of the amended plans / details are contained within the body of the report, the overall masterplan is included after the amended conditions. Full colour copies are on the portal and will be included in the Officer presentation.

### **2 Amenity Space**

- 2.01 As set out in the original report the proposed development, at circa 24 dph, is at a low density and is considered to be appropriate for this village fringe setting, subject to the considerations assessed below.
- 2.02 The Applicant has advised that to further reduce the number of units would undermine the viability of the development, although this is not supported by any financial appraisal.
- 2.03 Smaller developments such as this typically face challenges where, for example, 'one size fits all' requirements such as access and turning areas serve only a small number of units and are therefore relatively disproportionate when compared to the scale of the development as a whole. The key is therefore achieving an acceptable balance of responses to, for example, the site's context, whilst also affording good quality amenity for future occupiers and neighbours.

- 2.04 Density in itself is never intended to be an ultimate determiner of the acceptability of a development, but is nevertheless a measure (or indicator) that certain issues may, for example, require further examination. In this instance, Members, having assessed the Application and its setting, have clearly requested that the Applicant provide a greater quantum of open space and that the development demonstrate that it can better sit within the semi-rural approach to the Village.
- 2.05 Whilst the Applicant does not propose to reduce the number of units; as invited by Committee, they have reviewed the configuration of relevant parts of the site in order to accommodate more open space.
- 2.06 Adjacent to the site frontage, Unit 1 has been pulled back in order to create the opportunity for more landscaping to the site frontage, which is assessed in further detail under point 4 below.

- 2.07 Within the heart of the scheme, a reconfiguration of Unit 8 and the car parking for Units 8 and 9 has allowed the central open space to be increased in size from 300sq.m to approximately 350sq.m. For a development of this size, Policy DM19 requires 300sq.m of amenity green space and therefore the policy requirement is now exceeded.

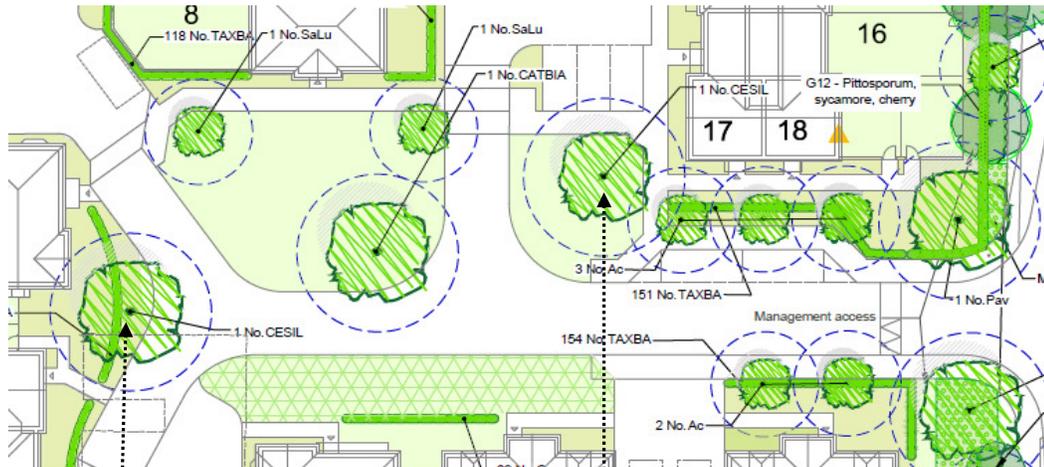


- 2.08 Whilst DM19 would typically seek a contribution of 100sq.m towards children's play space, the minimum on-site threshold is 2,500sq.m and clearly could not be met by a small development such as this. Members are reminded that each property has a private garden and that the village playing fields, which have a dedicated younger play area, are accessible a short walk to the south by pavement.
- 2.09 Nevertheless, the open space that is proposed could be utilised for supervised informal play as it is overlooked by a number of the houses within the proposed development and traffic movements will be relatively limited and speeds managed through surfacing.

### **3 Wider Landscaping**

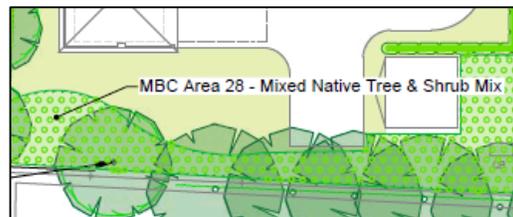
- 3.01 The scheme is also now accompanied by a landscaping and planting masterplan, which shows how not only the amenity green space will be planted, but also the wider green areas that form part of the scheme.
- 3.02 The objective of the design remains one of providing a green landscape entrance through the site when viewed from North Street; where the updated scheme seeks to not only reinforce the existing landscaped frontage, but also seeks to create the effect of this semi rural landscape turning and extending into the site.
- 3.03 Members will note from the site photographs presented in the Appendix Report that in its existing form the site is dominated by hard surfacing and structures, with any greenery (apart from that for sale) limited to the site boundaries.

3.04 The emphasis upon a landscaped entrance to the site and the internal road is illustrated on the detailed planting plan and sketch plan below, with buildings set back from the main view into the site.



3.05 To highlight some of the additional open areas within the development that focus on landscaping and habitat (rather than residential amenity areas), these include:

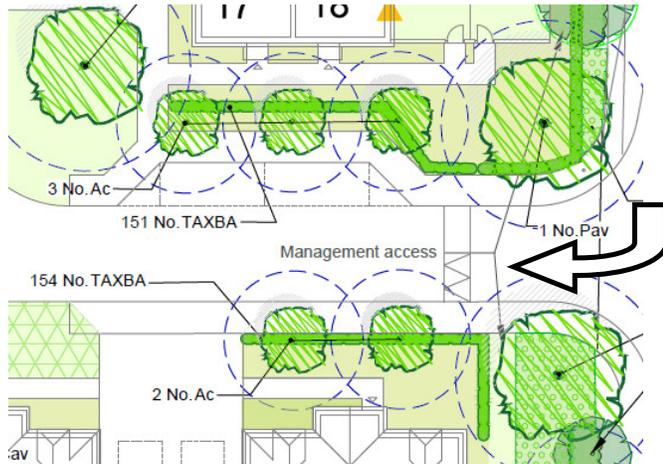
In the SW corner of the site, adjacent to the required substation, a native planted margin will connect to the southern site boundaries and playing fields.



At the end of the access road, a feature tree and hedgerow will terminate views into the site from North Street.

Throughout the site, hedgerows are used to define key visible boundaries, further emphasising the landscape-led approach.

A tree and hedgerow lined site entrance is designed to pull the existing mature frontage planting into the site and to soften the impact of the access.



Throughout the site the emphasis is upon the use of habitat friendly native species.

#### 4 North Street Frontage

4.01 Members were concerned that, as a prominent site on the approach to Sutton Valence village, the front buffer screen should be significantly enhanced in order to mitigate the impact of a more intense scale of development on the site. In response the Applicant has appointed a Landscape Architect who has undertaken an assessment of the existing frontage (and overall site). This identifies:

- an existing "sylvan" character to the site frontage with a number of mature native trees,
- however, gaps exist within the existing mature frontage
- poor quality ornamental shrubs.

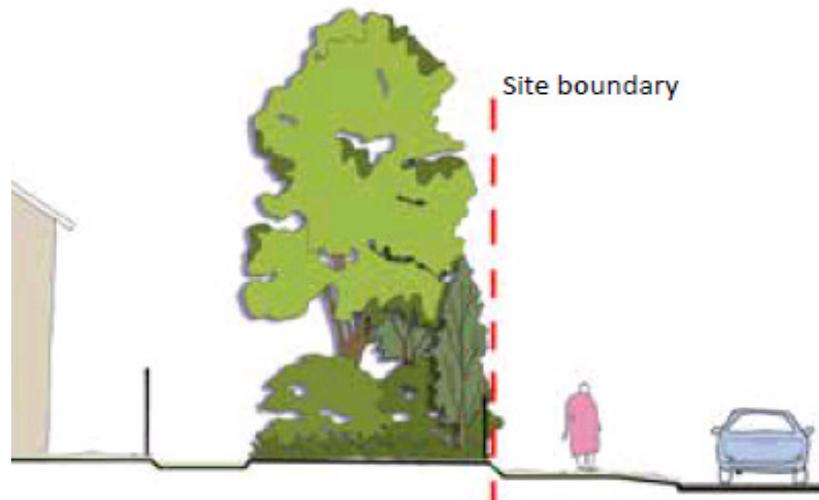
4.02 In response, to allow for an improved buffer for planting and habitat creation:

- Unit 1, immediately south of the site entrance, has been set back by 4 further metres,
- the rear garden boundaries of plots 12-18 have been pulled back by an average of 1.25metres.

4.03 By setting Unit 1 some 4metres further into the site, it has been possible to significantly increase the width of the boundary planting. The area for planting will increase to 3metres, with a 1.5m width maintenance access that is located outside of residential gardens.

4.04 Holly, Hawthorne and Cherry will be planted in existing gaps to provide early impact and to mitigate the impact of new buildings. These will be underlain by native shrubs to provide a denser structure to the frontage and a more species friendly area.

- 4.05 A cross section of the increased buffer on the southern part of the site is illustrated below:



- 4.06 Although the increase in the width of the boundary north of the access is less than set out above, it also allows for material improvements to the landscaping scheme, together with enhanced access for future maintenance.

## 5 Biodiversity

- 5.01 The amended landscape / management scheme focuses upon native species, habitat corridors and improved 'pathway' connections with elements such as:
- semi-mature native / nectar rich flowering / fruiting trees to provide early foraging,
  - double rows of hedges, combining mixed native and single species,
  - hedgerows and shrubs cut with a taper from bottom to top, ensuring that the base of the hedge remains dense to the ground to protect wildlife using the base of the hedge as a corridor and to increase the connectivity of habitats surrounding the site,
  - shrubs which provide fruit, nuts or berries to be maintained post fruiting season to ensure that wildlife using the site are supported year round.
- 5.02 The inclusion of in-fabric bee (2), bat (5) and swift (5) boxes at appropriate positions across the site.
- 5.03 The swale will be planted with SUDS resilient wildflower turf embankments that is suited to longer-term wet conditions, but also resilient to drought periods to ensure longevity. Details of the wet swale and associated wet planting will be secured via the detailed landscaping condition.
- 5.04 Having regard to the fact that the original ecological assessment identified that the existing site offers limited habitat opportunity, with no signs of protected species being present or foraging, it is considered that the amended proposals will allow for significant biodiversity enhancement.

## 6.0 Renewables

6.01 Each dwelling with on-plot parking will be provided with a dedicated EV charging point, with planning conditions requiring the off-plot spaces to be provided with latent capacity that allows for the installation of, for example, individual or shared charging posts that do not require attachment to a building (example shown in photograph).



6.02 The Applicant has provided a plan showing the location of roof level solar PV on each unit in locations that will generally not detract from the overall character of the street scene. Unlike retro-fitted installations, the panels are designed to be flush with the roof profile and will offer an acceptable appearance.



6.03 Members also asked Officers to seek a 20% renewables target. Whilst there are national targets, there is no policy basis within either the Local Plan or the NPPF to demand a 20% contribution by plot, particularly as there is no way to reasonably monitor usage v's generation by household. However, it is considered that the provision of EV charging points and solar PV for each household will encourage positive behaviour, for example, the use of electric vehicles, the installation of battery banks and the use of green energy tariffs by householders. As such it is considered that the amended proposals represent a positive response to the Council's developing aspirations.

## 7 Warmlake Crossroads

7.01 Members asked that the Applicant and Officers explore with KCC opportunities to improve pedestrian crossings within the vicinity of the site and Warmlake crossroads, principally access to nearby bus stops.

7.02 The existing position is that:

- a footway exists on the site frontage which connects to the northbound service
- it also extends south to the village boundary and northwards to the SW side of the crossroads
- on the SE part of the crossroads a pavement allows for pedestrians to cross west to east across North Street
- a similar arrangement allows pedestrians to cross to the NE side of the crossroads, where the southerly bus route is located.

7.03 Both parties have discussed this arrangement separately with KCC, who in their response to the Council advised:

- *Our position on the matter is that enhanced crossing works are not necessary to make the development acceptable in highway terms.*
  - *This is a small development with relatively good transport links, despite its village location, and would not therefore justify additional off site highway works.*
  - *For such a minor development that will generate limited pedestrian movements to the bus stop in question, it would not be practical to implement the works. In addition, the junction is circa 17m wide at its widest location, meaning that pedestrians will have a significant distance to cross depending upon where the crossing is located*
- 7.04 Observations following the previous Committee identify that, even if KCC Highways comments were overridden, it would not be practical to provide enhanced pedestrian crossing measures at the crossroads as these would lead to increased accident / safety risks, for example, pedestrians crossing at points hidden to turning vehicles.
- 7.05 Observations also identify that the principle risks appear to be associated with the speed of vehicles on the N-S arm, where speeds appear to be in excess of the prescribed speed limit. However, visibility in both directions is good and therefore pedestrians are able to wait for a safe crossing. In the absence of an objection from KCC, it is considered that it would be unreasonable to seek significant off-site works for what is a relatively modest development.
- 7.06 Despite this, the Applicant has offered to work with KCC to explore the potential to improve signage that reinforces the applicable speed limits and to alert drivers to the likelihood of pedestrians crossing. This is reflected in an update to the proposed planning conditions.

## **8 Affordable Housing**

- 8.01 Members also asked that Officers consider whether the affordable element of the scheme would address *local housing needs*. Paragraph 4.131 of the Local Plan states that:
- To ensure proper delivery of affordable housing, developers are required to discuss proposals with the council's housing department at the earliest stage of the application process, to ensure the size, type and tenure of new affordable housing is appropriate given the identified needs.*
- 8.02 The Applicant engaged with the Council's Housing Team ahead of submission and it is understood that the proposed tenure reflects their advice.
- 8.03 Policy SP20 of the Local Plan is principally concerned with (i) establishing viable percentages of affordable housing, (ii) prioritising on-site provision and (iii) identifying an appropriate mix of affordable tenures. As submitted, the Application is compliant with these principal aims.
- 8.04 In July 2020 the Council published its *Affordable and Local Needs Housing SPD*. This identifies that, notwithstanding central Government policy, the Council's preferred tenures are social rent and discounted homes for sale.
- 8.05 Whilst Officers cannot advise that Members step away from the requirements of Policy SP 20, it is suggested that within the resolution to grant, Members request that Officers and The Applicant investigate how the definition of tenures is best able to meet the housing needs identified within the SPD.

### **Public Sector Equality Duty**

Due regard has been had to the Public Sector Equality Duty, as set out in Section 149 of the Equality Act 2010. It is considered that the application proposals would not undermine objectives of the Duty.

## **9 CONCLUSION**

- 9.01 Officers consider that the Applicant has responded positively to the issues identified by Members in the deferral of the Planning Application.
- 9.02 The proposals, as amended, are considered to represent good quality design and provide the opportunity to deliver sustainable housing on previously developed land.
- 9.03 It is not considered that the development would lead to adverse impacts upon the character or appearance countryside, nor to the setting of the Village's hinterland.
- 9.04 Whilst there will be some impacts upon residential neighbours, the design and layout minimises these to an acceptable level.
- 9.05 KCC do not consider that the development would lead to highway safety issues. Nevertheless, the Applicant has agreed to continue a dialogue with KCC to establish whether signage measures would result in a benefit to existing conditions.

## **10 RECOMMENDATION –**

The Head of Planning and Development BE DELEGATED POWERS TO GRANT planning permission subject to the prior completion of a legal agreement to provide the following (including the Head of Planning and Development being able to settle or amend any necessary terms of the legal agreement in line with the matters set out in the recommendation resolved by Planning Committee):

S106 Heads of Terms:

- 1) The provision of 7 (seven) affordable units comprising 4 affordable rent and 3 intermediate units.
- 2) A s106 monitoring fee.

### **PROPOSED CONDITIONS**

The following updates (as highlighted in bold) are proposed to the conditions set out in the April report:

- C2 Updated plan references
- C5 References to renewables updated
- C6/7 Cross-reference to updated landscape and biodiversity measures
- C11 and 15 Updated to reflect amended plans

- C17 New condition relating to signage

Time Limit

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission;  
Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Plans

- 2) The development hereby permitted shall be carried out in accordance with the following approved plans:

*20.127 - 101 - Existing Site Layout Plan & Site Location Plan*

**20.127-100 Rev D Proposed Site Layout**

*20.127-102 Proposed Landscaping Plan*

*20.127-150 Rev A Plot 1 Plans & Elevations*

*20.127-151 Rev A Plot 2 Plans & Elevations*

*20.127-152 Rev A Plot 3 Plans & Elevations*

*20.127-153 Rev A Plots 4 & 5 Plans & Elevations*

*20.127-154 Rev A Plot 6 Plans & Elevations*

*20.127-155 Plot 7 Plans & Elevations*

*20.127-156 Rev A Plot 8 Plans & Elevations*

*20.127-157 Rev B Plots 9-11 Plans & Elevations*

*20.127-158 Rev A Plots 12-14 Plans & Elevations*

*20.127-159 Rev A Plots 15-18 Plans & Elevations*

**20.127-200 Rev B Garages & Car Ports Plans & Elevations (Sheet 1 of 2)**

**20.127-201 Rev B Garages & Car Ports Plans & Elevations (Sheet 2 of 2)**

**20.127-250 Rev C Streetscenes**

**20.127-500 Rev C Unit Mix Plan**

**20.127-501 Rev C Unit Heights Plan**

*20.127-502 Rev C Parking Plan*

**20.127-503 Rev D Refuse Plan**

**20.127-504 Rev C Unit Tenure Plan**

**2005090-005F Preliminary Foul & Surface Water Drainage Strategy**

**2005090-003F Preliminary Levels Strategy**

**20136-7 Tree Protection Plan**

**20136-AA6-DC Arboricultural Assessment May 21**

**0439 Landscape Masterplan with Boundary Details Issue 2**

**Warmlake Nurseries Biodiversity Enhancement Features Dated 7/5/21**

Reason: To clarify which plans and technical / environmental details have been approved.

Contamination

- 3) If during construction/demolition works evidence of potential contamination is encountered, works shall cease and the site fully assessed to enable an appropriate remediation plan to be developed. Works shall not re-commence until an appropriate remediation scheme has been submitted to, and approved in writing by, the Local Planning Authority and the remediation has been completed.

Upon completion of the building works, this condition shall not be discharged until a closure report has been submitted to and approved in writing by the Local Planning Authority. The closure report shall include details of;

- a) Details of any sampling and remediation works conducted and quality assurance certificates to show that the works have been carried out in full in accordance with the approved methodology.
- b) Details of any post-remedial sampling and analysis to show the site has reached the required clean-up criteria shall be included in the closure report together with the necessary documentation detailing what waste materials have been removed from the site.
- c) If no contamination has been discovered during the build then evidence (e.g. photos or letters from site manager) to show that no contamination was discovered should be included.

Reason: In the interests of protecting the health of future occupants from any below ground pollutants.

#### Material Samples

- 4) The construction of the dwellings shall not commence above slab/podium level until written details and virtual samples of the materials to be used in the construction of the external surfaces of the buildings hereby permitted have been submitted to and approved by the Local Planning Authority. The development shall be constructed using the approved materials.

Reason: To ensure a satisfactory appearance to the development.

#### Renewable Energy

- 5) The development shall not commence above slab level until details of how decentralised and renewable or low-carbon sources of energy will be incorporated into the development hereby approved have been submitted to and approved in writing by the local planning authority. Measures shall include:
  - (i) EV charging points to each dwelling with on-plot parking and latent provision to bays within the parking court/s
  - (ii) The provision of solar PV to each dwelling, **in accordance with the submitted drawing 'Potential PV Panel Locations'**.The approved details shall be installed prior to first occupation and maintained thereafter;

Reason: To ensure an energy efficient form of development. Details are required prior to commencements as these methods may impact or influence the overall appearance of development.

#### Landscaping & Biodiversity

- 6) The works shall not commence above slab/podium level until details of both hard and soft landscape works have been submitted for approval by the Local Planning Authority. The hard landscape works shall be carried out in accordance with the approved details before first occupation

The soft planting scheme shall and shall **accord with the principles set out within the report, 0439 Landscape Masterplan with Boundary Details Issue 2 received 17/5/21 and plan entitled Warmlake Nurseries Biodiversity Enhancement Features received 17/5/21** and demonstrate that the use of native planting is utilised in a manner that optimises wildlife habitat opportunities and identify management responsibilities and maintenance

schedules for all landscaped and open areas other than privately owned domestic gardens.

All planting, seeding and turfing specified in the approved landscape details shall be completed no later than the first planting season (October to February) following first use or occupation. Any seeding or turfing which fails to establish or any trees or plants which, within five years from the first occupation of a property, commencement of use or adoption of land, die or become so seriously damaged or diseased that their long term amenity value has been adversely affected shall be replaced in the next planting season with plants of the same species and size as detailed in the approved landscape scheme unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of biodiversity, landscape, visual impact and amenity of the area and to ensure a satisfactory appearance to the development

- 7) The development hereby approved shall not commence above slab level until details for a scheme for the fabric-led enhancement of biodiversity on the site shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall **accord with the principles set out within the report 0439 Landscape Masterplan with Boundary Details Issue 2 received 17/5/21 and plan entitled Warmlake Nurseries Biodiversity Enhancement Features received 17/5/21** and consist of the enhancement of biodiversity through integrated methods into the design and appearance of the **buildings** by means such as swift bricks, bat tube or bricks, measures to accommodate solitary bees **and hedgehog friendly boundaries**.. The development shall be implemented in accordance with the approved details and all features shall be maintained thereafter.

Reason: To protect and enhance the ecology and biodiversity on the site in the future.

#### Slab Levels

- 8) The development hereby permitted shall be carried out strictly in accordance with the slab levels shown on the **approved drawing 2005090-003F Preliminary Levels Strategy, received 12/05/21**.

Reason: In order to secure a satisfactory form of development having regard to the topography of the site.

#### Boundary Treatments / Acoustic Protection

- 9) The development hereby approved shall not commence above slab level until, details of all fencing, walling and other boundary treatments have been submitted to and approved in writing by the local planning authority and the development shall be carried out in accordance with the approved details before the first occupation of the building(s) or land and maintained thereafter. Such details shall include an acoustic fence / wall between the parking court area and neighbouring property. **The details shall also include measures to allow hedgehog friendly gravel boards**.

Reason: To ensure a satisfactory appearance to the development and to safeguard the enjoyment of their properties by existing and prospective occupiers.

Tree Protection

- 10) The tree protection measures identified in the *Arboricultural assessment and method statement dated 26<sup>th</sup> October 2020* – **as shown on plan 20136-7 received on 11/05/21** shall be implemented prior to the commencement of any works on site, including works of demolition. . All trees to be retained must be protected by barriers and/or ground protection in accordance with the approved details. No equipment, plant, machinery or materials shall be brought onto the site prior to the erection of approved barriers and/or ground protection except to carry out pre commencement operations approved in writing by the local planning authority. Nothing shall be stored or placed, nor fires lit, within any of the protected areas. No alterations shall be made to the siting of barriers and/or ground protection, nor ground levels changed, nor excavations made within these areas without the written consent of the local planning authority. These measures shall be maintained until all equipment, machinery and surplus materials have been removed from the site.

Reason: In the interests of landscape, visual impact and amenity of the area and to ensure a satisfactory appearance to the development

Parking/Turning Implementation

- 11) The approved details of the cycle parking and vehicle parking/turning areas shall be completed before the first occupation of the buildings hereby permitted and shall thereafter be kept available for such use. No development, whether permitted by the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order, with or without modification) or not, shall be carried out on the areas indicated or in such a position as to preclude vehicular access thereto.

Reason: In the interests of road safety.

Boundary Windows

- 12) No additional windows, doors, voids or other openings shall be inserted, placed or formed at any time in the northern first floor elevations of plots 11 and 12 hereby permitted;

Reason: To prevent overlooking of adjoining properties and to safeguard the privacy of their occupiers.

- 13) Before the development hereby permitted is first occupied, the proposed northern elevation windows at first floor on plots 11 and 12 shall be obscure glazed and shall subsequently be maintained as such to the satisfaction of the local planning authority;

Reason: To prevent overlooking of adjoining properties and to safeguard the privacy of existing and prospective occupiers.

Access

- 14) The approved details of the access point to the site shall be completed before the commencement of the use of the relevant land or buildings hereby permitted and, any approved sight lines shall be retained free of all obstruction to visibility above 1.0 metres thereafter.

Reason: In the interests of highway safety.

SUDs

- 15) Any part of the development hereby approved shall not be occupied prior to the completion of the relevant part of the SuDS scheme shown on **approved drawing 2005090-005 Rev F**.

Reason: To reduce the impact of flooding both to and from the proposed development and third parties and pursuant to the National Planning Policy Framework 2012.

External Lighting

- 16) Any external lighting installed on the site (whether permanent or temporary) shall be in accordance with details that have previously been submitted to and approved in writing by the Local Planning Authority. These details shall include, inter alia, measures to shield and direct light from the light sources so as to prevent light pollution and illuminance contour plots covering sensitive neighbouring receptors. The development shall thereafter be carried out in accordance with the subsequently approved details and maintained as such thereafter.

Reason: In the interest of visual amenity

Signage

- 17 Prior to the first occupation of the site, the Applicant shall submit to the Local Planning Authority a report demonstrating what measures have been undertaken to investigate with the Highway Authority speed awareness and advance pedestrian signage in the vicinity of Warmlake crossroads. Any agreed details shall be implemented prior to the completion of the development.**

**Reason: In the interests of pedestrian safety.**

Case Officer: Austin Mackie

